
F/YR23/0556/F

**Applicant: Mr Dan Clarke
Nor-Cambs Homes & Developments Ltd**

**Agent : Mr Chris Walford
Peter Humphrey Associates Ltd**

Land South Of, 85 - 89 Upwell Road, March, Cambridgeshire

Erect 4 x dwellings (single-storey, 4-bed) with associated access and surface water attenuation pond

Officer recommendation: Refuse

Reason for Committee: Referred by Head of Planning on advice of Committee Chairman.

1 EXECUTIVE SUMMARY

- 1.1. The site is an irregular shaped parcel of land which is set to the rear of 85-89 Upwell Road, March. The land is fairly flat and is accessed by what is presently a field access between numbers 87 and 89. The boundaries abutting the rear of the existing dwellings on Upwell Road are bordered by various types of solid fencing belonging to these properties. The site relates more to the countryside than the built-up area. With regard to the character of the development along Upwell Road, there are a mix of dwelling types but the overriding character is that of bungalows and this is the case in the vicinity of this site.
- 1.2. The application seeks full planning permission for the erection of 4 detached single storey dwellings, all with attached garages. The application includes the access via the existing field access off Upwell Road between numbers 87 and 89 Upwell Road. The access is 5 metres wide with no pavements and has a narrow grass verge along the edge adjacent to number 89. The access continues in a straight southerly direction down the centre of the site all the way to the southernmost main site boundary (not including the outshot land containing the surface attenuation pond). The proposed four detached dwellings are arranged as two either side of the access and face into the site i.e. they are set at 90 degrees to Upwell Road.
- 1.3. With regard to the principle of the development, the application is not in accordance with policies LP3 and LP12 of the Fenland Local Plan as it is situated in open countryside and does not relate well to the built-up edge of March. However, the decision taken by Committee to grant outline permission for up to six dwellings at the site under application F/YR20/1138/O and that this permission is still extant, is a material consideration which outweighs the policy objections to the proposal in terms of the principle of the development.
- 1.4. The proposed dwellings due to their layout, scale and design do not respect the landscape character of the surrounding countryside and the built character of Upwell Road. The dwellings will be viewed from the street and from the nearest footpaths as well as from the rear of the nearby existing dwellings and will appear domineering and incongruous in this setting i.e. a transition from urban edge to open countryside. The proposal is therefore contrary to policy LP16 (d)

of the Local Plan and policies DM2 and DM3 of the Delivering and Protecting High Quality Environments in Fenland SPD which require developments to make a positive contribution to local distinctiveness and character of an area. The proposal also fails to adhere to paragraphs 130 and 134 of the NPPF which require developments to be sympathetic to the local character including surrounding built environment and landscape setting and require development to be refused especially where, as is the case here, it fails to reflect local design policies and government guidance on design.

- 1.5. The proposed dwellings will generate a level of coming and going of vehicles and activity in close proximity to the neighbouring dwellings 87 and 89 Upwell Road (that flank the access and border the site at the rear), to a degree that will adversely impact on these neighbours' amenity. As such the proposal does not comply with policy LP16 (e) of the Local Plan which seeks to protect neighbour amenity.
- 1.6. Overall, the proposed development is considered to be unacceptable, and the recommendation is one of refusal.

2 SITE DESCRIPTION

- 2.1. The site is an irregular shaped parcel of land which is set to the rear of 85-89 Upwell Road, March. The land is fairly flat and is accessed by what is presently a field access between numbers 87 and 89. The boundaries abutting the rear of the existing dwellings on Upwell Road are bordered by various types of solid fencing belonging to these properties. The site relates more to the countryside than the built-up area. With regard to the character of the development along Upwell Road, there are a mix of dwelling types but the overriding character is that of bungalows and this is the case in the vicinity of this site.
- 2.2. The application site includes a roughly square shaped projection of land coming off the southern boundary of the site in which a proposed surface water attenuation pond is located (see background section below). The site lies in flood zone 1 which is the area at least risk of flooding. The pond is also described in the application as a wildlife pond.
- 2.3. It is described as a shared driveway and there is a shared turning area to the south of the garage to plot 1. The access continues in a straight southerly direction down the centre of the site all the way to the southernmost main site boundary (not including the outshot land containing the surface attenuation pond).

3 PROPOSAL

- 3.1. The application seeks full planning permission for the erection of 4 detached single storey dwellings, all with attached garages. The application includes the access via the existing field access off Upwell Road between numbers 87 and 89 Upwell Road. The access is 5 metres wide with no pavements and has a narrow grass verge along the edge adjacent to number 89. The access continues in a straight southerly direction down the centre of the site all the way to the southernmost main site boundary (not including the outshot land containing the surface attenuation pond). The proposed four detached dwellings are arranged as two either side of the access and face into the site i.e. they are set at 90 degrees to Upwell Road.

- 3.2. The dwellings would be of similar design, however, plots 1 and 2 would have their garages situated at the south side of their dwellings and plots 3 and 4 would have their garages to the north side of their dwellings. Additionally, plots 1 and 3 would be a mix of Flemish brick with white render and light grey uPVC windows and plots 2 and 4 would be a mix of Flemish brick with light grey render and dark grey uPVC windows. All the proposed dwellings would house 4 bedrooms each.
- 3.3. The proposed dwellings, including attached garages, would measure approx. 24.6 metres wide x 14 metres deep x 6.3 metres in maximum height.
- 3.4. As mentioned above the proposal includes an area of land to the rear of the proposed dwellings which includes a surface water attenuation pond as part of the surface water drainage for the site.

4 SITE PLANNING HISTORY

F/YR17/0563/O - Outline application for four dwellings with all matters reserved refused and then dismissed on appeal on 23/10/2018. The main reason for the refusal and subsequent dismissal of the appeal was the adverse impact on the character and appearance of the area and the failure to make a positive contribution to the local distinctiveness and character of the area or reinforce local identity as required by policy LP16 (d) amongst other considerations.

F/YR20/1138/O - Outline application for 6 dwellings approved by Committee contrary to officer recommendation on 14/07/2021.

F/YR22/0705/F – Full application for six dwellings with garages, associated access and surface water attenuation pond was refused on 10/02/2023 after the Planning committee agreed with the officer's recommendation for refusal of the application. The main reasons for refusal of the application were that the proposal failed to make a positive contribution to local distinctiveness contrary to Policy LP 16 (d), the proposed would impact adversely on the private amenity space of the occupiers of 87 and 89 Upwell Road due to the increase in comings and goings and heights of plots 1 and 6 appearing jarring and domineering contrary to Policy LP 16 (e) and the proposal did not adequately deal with surface water drainage in a sustainable manner contrary to Policy LP14.

5 CONSULTATIONS

- 5.1. **March Town Council (18/07/2023)**
Recommend refusal, Development outside the DAB.
- 5.2. **Local Residents/Interested Parties**

Objectors

One letter of objection has been received from a neighbouring dwelling along Upwell Road, this is summarised as follows:

- The Cambridgeshire Flood and Water SPD 2016 requires a site-specific flood risk assessment to be carried out before planning permission is given for land that is outside the Development Plan, and involves a change of use to a more vulnerable use i.e. from agricultural land to residential. This has not been carried out, as I have already stated in my objections on all previous applications on this site. A percolation test carried out on the

adjacent field, on the eastern boundary, was unproven. This area suffers from surface water flooding.

- The LLFA/IDB do not appear to have been consulted, by the applicant, with regards to the surface water drainage system which will require their permission to discharge into the drain.
- An allowance of 1metre, in my opinion, does not appear adequate for the maintenance to the riparian dyke on the eastern boundary and the drain on the western boundary. Part of the dyke on eastern boundary has already been filled in and this could contribute to flooding elsewhere. The site was covered in water all winter.

6 STATUTORY DUTY

- 6.1. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted Fenland Local Plan (2014).

7 POLICY FRAMEWORK

7.1. National Planning Policy Framework (NPPF)

- Paragraph 47 Determine applications in accordance with the development plan unless material considerations indicate otherwise
- Section 12 Achieving well designed places
- Section 14 Meeting the challenge of climate change, flooding and coastal change
- Section 15 Conserving and enhancing the natural environment

7.2. National Planning Practice Guidance (NPPG)

7.3. National Design Guide 2021

Context
Identity
Built Form
Nature
Uses
Homes and Buildings

7.4. Fenland Local Plan 2014

LP1 A Presumption in Favour of Sustainable Development
LP2 Facilitating Health and Wellbeing of Fenland Residents
LP3 Spatial Strategy, the Settlement Hierarchy and the Countryside
LP4 Housing
LP5 Meeting Housing Need
LP12 Rural Areas Development Policy
LP14 Responding to Climate Change and Managing the Risk of Flooding in Fenland
LP15 Facilitating the Creation of a More Sustainable Transport Network in Fenland
LP16 Delivering and Protecting High Quality Environments across the District
LP19 The Natural Environment

7.5. Delivering and Protecting High Quality Environments in Fenland SPD adopted July 2014

7.6. Cambridgeshire Flood and Water SPD 2016

7.7. Emerging Local Plan

The Draft Fenland Local Plan (2022) was published for consultation between 25th August 2022 and 19 October 2022, all comments received will be reviewed and any changes arising from the consultation will be made to the draft Local Plan. Given the very early stage which the Plan is therefore at, it is considered, in accordance with Paragraph 48 of the NPPF, that the policies of this should carry extremely limited weight in decision making. Of relevance to this application are policies:

LP1 Settlement Hierarchy
LP2 Spatial Strategy for the Location of Residential Development
LP5 Health and Wellbeing
LP7 Design
LP8 Amenity Provision
LP18 Development in the Countryside
LP20 Accessibility and Transport
LP22 Parking Provision
LP24 Natural Environment
LP25 Biodiversity Net Gain
LP27 Trees and Planting
LP28 Landscape
LP32 Flood and Water Management

7.8. March Neighbourhood Plan 2017

H2 – Windfall Development

8 KEY ISSUES

- **Principle of Development**
- **Layout and Design/Appearance**
- **Amenity**
- **Access, turning and parking provision**
- **Other (delete as appropriate)**

9 BACKGROUND

9.1. As set out in the site history, permission for four dwellings was refused on this site under application F/YR17/0563/O. The applicant appealed this decision, and the appeal was dismissed on 25th October 2018, the appeal Inspector stating the following;

“I conclude that the development would have an adverse effect on the character and appearance of the area. It would fail to make a positive contribution to local distinctiveness and character of the area, or reinforce local identity as required by LP Policy LP16 (d) amongst other considerations.”

9.2. Notably, at this time, the Council could not demonstrate a five-year supply of housing and so the tilted balance towards approving housing was engaged and the Inspector still dismissed the appeal on character and appearance grounds.

9.3. Subsequently, despite the significant weight of the appeal decision, Members approved an outline application for up to 6 dwellings under F/YR20/1138/O on 14 July 2021.

- 9.4. Following this, a full application for six dwellings with garages, associated access and surface water attenuation pond was refused on 10 February 2023 after the Planning committee agreed with the officer's recommendation for refusal of the application.
- 9.5. With regard to the wider area, planning permission was refused by Committee on a site to the east, contrary to officer recommendation, for up to 8 dwellings under application F/YR21/0811/O on the grounds that the close proximity of the access road to the neighbouring property would result in unacceptable adverse impacts on the residential amenity of the occupiers of 105 Upwell Road. The application had been recommended for approval because of the permission that had been granted under F/YR20/1138/O by Members in 2021 (part of the current application site). This site now forms part of a larger application that has been submitted to the council that is pending decision for the development of 26 dwellings, the formation of an access road and attenuation pond under application F/YR23/0266/F.
- 9.6. The land to the west of the site which adjoins Upwell Road and the western built up edge of March had an application F/YR22/0062/O refused for up to 110 dwellings on the grounds that the application site was not allocated for development in the adopted Fenland Local Plan (2014) or the March Neighbourhood Plan, the site is allocated in the emerging Local Plan but the plan was deemed as being insufficiently advanced to carry significant weight in terms of decision making.

10 ASSESSMENT

Principle of Development

- 10.1. Policy LP3 including the spatial strategy, identifies March as a primary market town where the majority of the district's new housing and other growth should take place. The site is located close to March and so in terms of a sustainable location, the site is acceptable.
- 10.2. However, the site is located outside the main built-up form of March and thereby relates more to the open countryside. The appeal inspector in dismissing the proposal for four dwellings in 2018, determined that the site did not constitute an infill site and represented encroachment into a distinctive area of open and rural land which is contiguous with more extensive areas of fail to make a positive contribution to the local distinctiveness and character of the area, or reinforce local identity as required by LP Policy LP16 (d) amongst other considerations. As such, the development would fail to comply with LP Policy LP16 (d).
- 10.3. The decision by Members to approve application F/YR20/1138/O contrary to the appeal decision is a material consideration in this current case. This outline permission is extant until July 2024. It could be progressed but would likely require the number of dwellings to be reduced in order to accommodate the surface water attenuation pond. This represents a fallback option and the decision represents a significant material consideration to weigh against the current scheme being contrary to the development plan. It is considered that as the outline permission remains extant and the decision postdates the appeal decision, that this is a material consideration which outweighs the development plan which otherwise would point to a recommendation of refusal of the proposal in principle. The application, in terms of principle is therefore considered to be acceptable for this reason.

Layout and Design/Appearance

- 10.4. Policy LP16 of the Local Plan states that proposals for all new development will only be permitted if it can be demonstrated that the proposal meets all of the criteria which includes; (d) makes a positive contribution to the local distinctiveness and character of the area, enhances its local setting, responds to and improves the character of the local built environment, provides resilience to climate change, reinforces local identity and does not adversely impact, either in design or scale terms, on the street scene, settlement pattern or landscape character of the surrounding area.
- 10.5. The Delivering and Protecting High Quality Environments in Fenland SPD (herein the SPD) was adopted largely to supplement policy LP16 of the Local Plan. Paragraph 1.5 of the SPD states that the majority of the district is rural in character. The unique open, flat character of the fens means that new developments in the countryside and on the edge of settlements can have a significant impact on the landscape form, even when viewed from a considerable distance. Policies DM2 and DM3 are also relevant as these refer to natural features and landscaping schemes (hard surfacing as well as soft landscaping) and making a positive contribution to local distinctiveness and character of the area as covered by LP16 criteria c, d, e and i.
- 10.6. As noted in the aforementioned appeal decision, the Inspector referred to the site as a distinctive area of open and rural land which is contiguous with more extensive areas of countryside abutting March's distinct edge. The inspector also referred to the sheltered housing at Upwell Park as an anomaly (to the pattern of development) and agreed with the Council that it is detached from the appeal site and cannot be considered the predominant character of the built environment in the vicinity of the site. She concluded that this section of Upwell Road is predominantly ribbon development extending into the countryside.
- 10.7. In terms of the built form within the vicinity of the site, the ribbon development along Upwell Road is predominantly made up of bungalows or chalet bungalows with occasional housing of a fairly modest nature, interspersed front (north) of the site are bungalows.
- 10.8. The site will be viewed from Upwell Road through the access and the proposed development will be seen in the context of the nearest neighbouring bungalows which flank the proposed access and front Upwell Road. The site can also be viewed from the footpath that runs in a north south direction and which marks the edge of the built settlement of March (Cavalry Drive) and the field which separates the site from the development site. There are also footpaths to the south of the site running in an east west direction (Stow Fen Drove track) which would afford long distance views of the site. These paths are approximately 288 metres to the rear of the site with no intervening development.
- 10.9. It is acknowledged that the proposed dwellings brought forward for development within this application have been reduced from 6 to 4 dwellings and reduced in height to single storey rather than two storeys in comparison to application F/YR22/0705/F. Nevertheless, it is considered that the proposed dwellings will look out of place and out of scale with the existing prevailing character of low-rise housing and will be visible from public places as well as from the rear of the neighbouring properties. They will appear incongruous if approved. The dwellings will diminish what is currently a relatively less defined transition between the built development in Upwell Road and the open countryside beyond. The change will become prominent and stark i.e. from bungalows at the frontage to larger houses to the rear to open countryside.

Amenity

- 10.10. Policy LP16 (e) states that new development will only be permitted where it can be demonstrated that the proposal does not adversely impact on the amenity of neighbouring users such as noise, light pollution, loss of privacy and loss of light.
- 10.11. The appeal inspector in dismissing the appeal in 2018 stated that the development of this site would introduce frontage activity to the rear of dwellings fronting Upwell Road where occupiers of existing dwellings might have a reasonable expectation of quieter amenity space.
- 10.12. The application to the east of the site (F/YR21/0811/O) was considered by Members to result in an adverse impact on the amenity of the occupier of 105 Upwell Road from use of the access road. This was an outline application for up to 8 dwellings, with all matters reserved, with an access road between two existing properties in quite similar circumstances to the current application. In that case the proposed access road would have been less than one metre from the nearest part of 107 Upwell Road and approximately 1.7m from the nearest part of 105 Upwell Road. With regards to the current detailed application, the access road would be approximately 2.85 metres from the nearest part of 87 Upwell Road and approximately 2.70 metres from the nearest part of 89 Upwell Road.
- 10.13. In relation to the submitted application, the traffic generated by 4 dwellings containing a total of 16 bedrooms, as proposed, could be considerable. It is considered that this level of activity would be noticeable to the occupiers of 87 and 89 Upwell Road who, as the previous appeal Inspector pointed out, might have a reasonable expectation of quieter amenity space.
- 10.14. It is therefore considered that, the proposed dwellings will generate a level of coming and going of vehicles and activity in close proximity to the neighbouring dwellings 87 and 89 Upwell Road (that flank the access and border the site at the rear), to a degree that will adversely impact on these neighbours' amenity. As such the proposal does not comply with policy LP16 (e) of the Local Plan which seeks to protect neighbour amenity.

Access, turning and parking provision

- 10.15. Policy LP15 of the Local Plan states that amongst other things, development should provide safe and convenient access for all. Appendix A to the Local Plan sets out the parking requirements for new developments. Dwellings of four or more bedrooms require at least 3 parking spaces. A garage can be counted as a parking space provided that the size of the garage exceeds 7.0 x 3.0 metres measured internally. The proposed garages for all plots meet this requirement and can count as one parking space.
- 10.16. The location of the access and its limitations were known at the time the previous outline application was approved at Committee. It cannot be altered or made wider and has therefore been acceptable in principle. The local highway has not commented on this submitted application, however, did comment on the previous application F/YR22/0705/F which proposed the use of the same access, at that time the local highway authority raised no objections commenting that the access is not of a standard that it would be adopted highway. The shared turning head is needed and will likely be sufficient to meet the needs of the majority of larger vehicles visiting the site, including the refuse collection vehicle. Furthermore, the FDC Refuse team have not commented on this application but did comment on the previous application F/YR22/0705/F, similarly to that application the proposed

development within this application includes a shared turning area and it is considered, again, that the FDC Refuse team would be able to enter the site with the necessary indemnity in place.

- 10.17. Each plot has sufficient space in which to store cycles. Each property is capable of providing the three required parking spaces. Therefore, in terms of access and parking the proposed development is acceptable.

Flood Risk and Drainage

- 10.18. Policy LP14 of the Local Plan requires that all applications for relevant development must include a drainage strategy to demonstrate that:

- (a) Suitable consideration has been given to surface water drainage
- (b) Appropriate arrangements for attenuating surface water run-off can be accommodated within the site; and
- (c) Issues of ownership and maintenance are addressed.

- 10.19. In addition, the Cambridgeshire Flood and Water SPD and the NPPF contain further advice regarding the need for development to ensure appropriate sustainable drainage to minimise flood risk.

- 10.20. The application site is located within Flood Zone 1 (low risk) and at very low risk of surface water flooding. The previous application at the site ref. F/YR22/0705/F to develop 6 dwellings was refused for reasons including inadequate details to enable the proper assessment of the impacts of the proposal on flood risk arising from the development. A surface water drainage strategy plan and SuDs Management Plan has been submitted which shows that surface water will be piped from the site to a surface water attenuation pond to the south of the dwellings and from there the surface water will be piped to the ditch running north south along the west boundary of the site. The LLFA have been consulted on the submitted application but have provided no comments. If the application was being recommended for approval further details would have been secured by way of an appropriate condition to ensure that the development adequately deals with surface water drainage in a sustainable manner and would not lead to an increased risk of flooding in respect of Policy LP14 of the Local Plan.

11 CONCLUSIONS

- 11.1. With regard to the principle of the development, the application is not in accordance with policies LP3 and LP12 of the Fenland Local Plan as it is situated in open countryside and does not relate well to the built-up edge of March. However, the decision taken by Committee to grant outline permission for up to six dwellings at the site under application F/YR20/1138/O and that this permission is still extant, is a material consideration which outweighs the policy objections to the proposal in terms of the principle of the development.
- 11.2. The proposed dwellings due to their layout, scale and design do not respect the landscape character of the surrounding countryside and the built character of Upwell Road. The dwellings will be viewed from the street and from the nearest footpaths as well as from the rear of the nearby existing dwellings and will appear domineering and incongruous in this setting i.e. a transition from urban edge to open countryside. The proposal is therefore contrary to policy LP16 (d) of the Local Plan and policies DM2 and DM3 of the Delivering and Protecting High Quality Environments in Fenland SPD which require developments to make a positive contribution to local distinctiveness and character of an area. The proposal also fails to adhere to paragraphs 130 and 134 of the NPPF which require

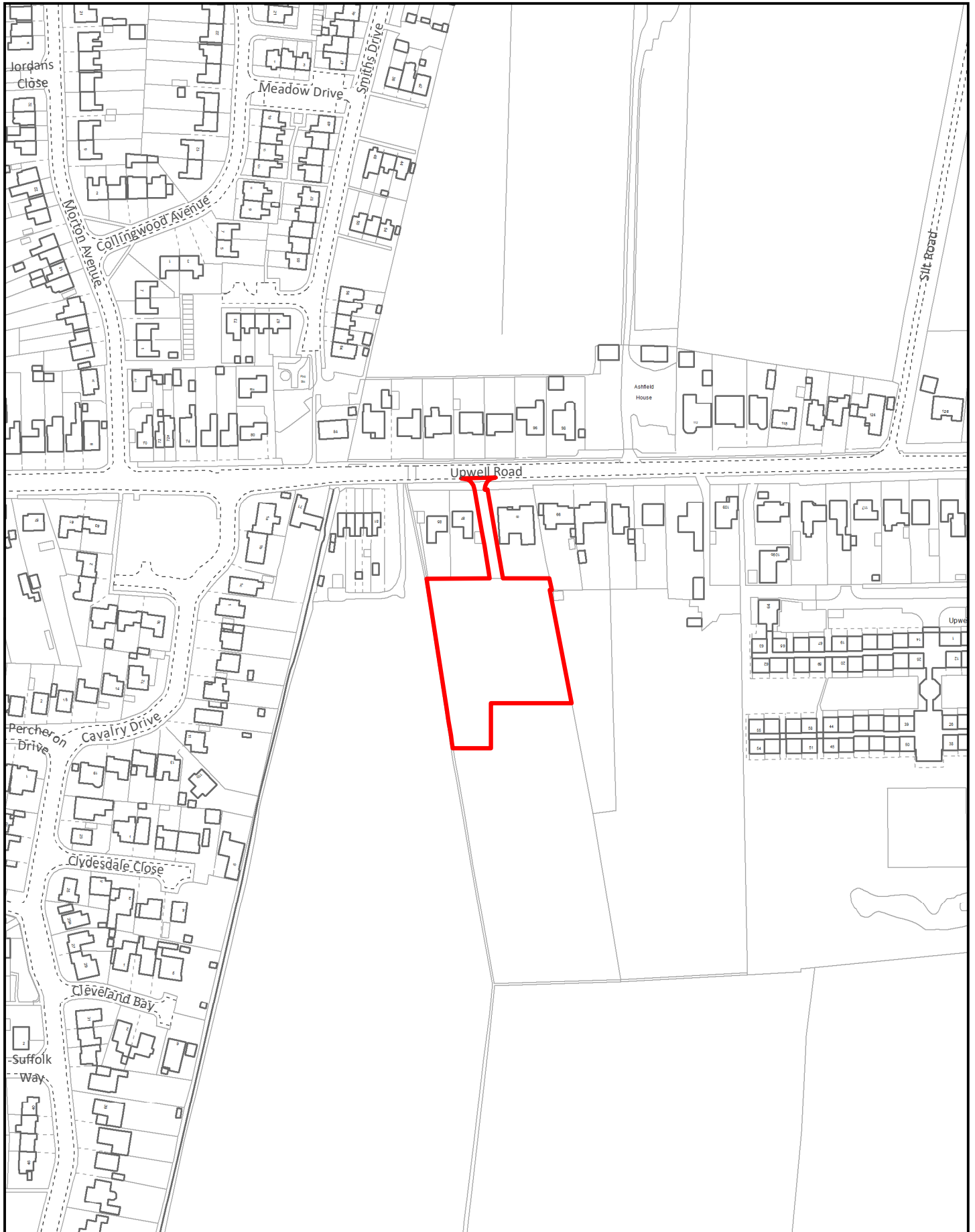
developments to be sympathetic to the local character including surrounding built environment and landscape setting and require development to be refused especially where, as is the case here, it fails to reflect local design policies and government guidance on design.

- 11.3. The proposed dwellings will generate a level of coming and going of vehicles and activity in close proximity to the neighbouring dwellings 87 and 89 Upwell Road (that flank the access and border the site at the rear), to a degree that will adversely impact on these neighbours' amenity. As such the proposal does not comply with policy LP16 (e) of the Local Plan which seeks to protect neighbour amenity.

12 RECOMMENDATION

Refuse; for the following reasons:

1.	The proposed development by reason of its layout, scale, and design fails to take account of the local natural character of the open countryside and the built character of Upwell Road and as such it will be an incongruous form of development which will diminish the less defined transition between the urban area and countryside. The proposal fails to make a positive contribution to local distinctiveness and as such is contrary to Policy LP16 (d) of the Fenland Local Plan, Policies DM2 and DM3 of the Delivering and Protecting High Quality Environments in Fenland SPD and paragraphs 130 and 134 of the NPPF.
2.	The proposed development by reason of the size and scale of the dwellings will result in an increase in comings and goings and activity to a degree that will adversely impact the current quiet private amenity space enjoyed by the occupiers of 87 and 89 Upwell Road. As such the proposal is contrary to policy LP 16 (e) of the Fenland Local Plan which requires new development to not adversely impact the amenity of neighbouring residents.



Created on: 12/07/2023

© Crown Copyright and database rights 2023 Ordnance Survey 10023778

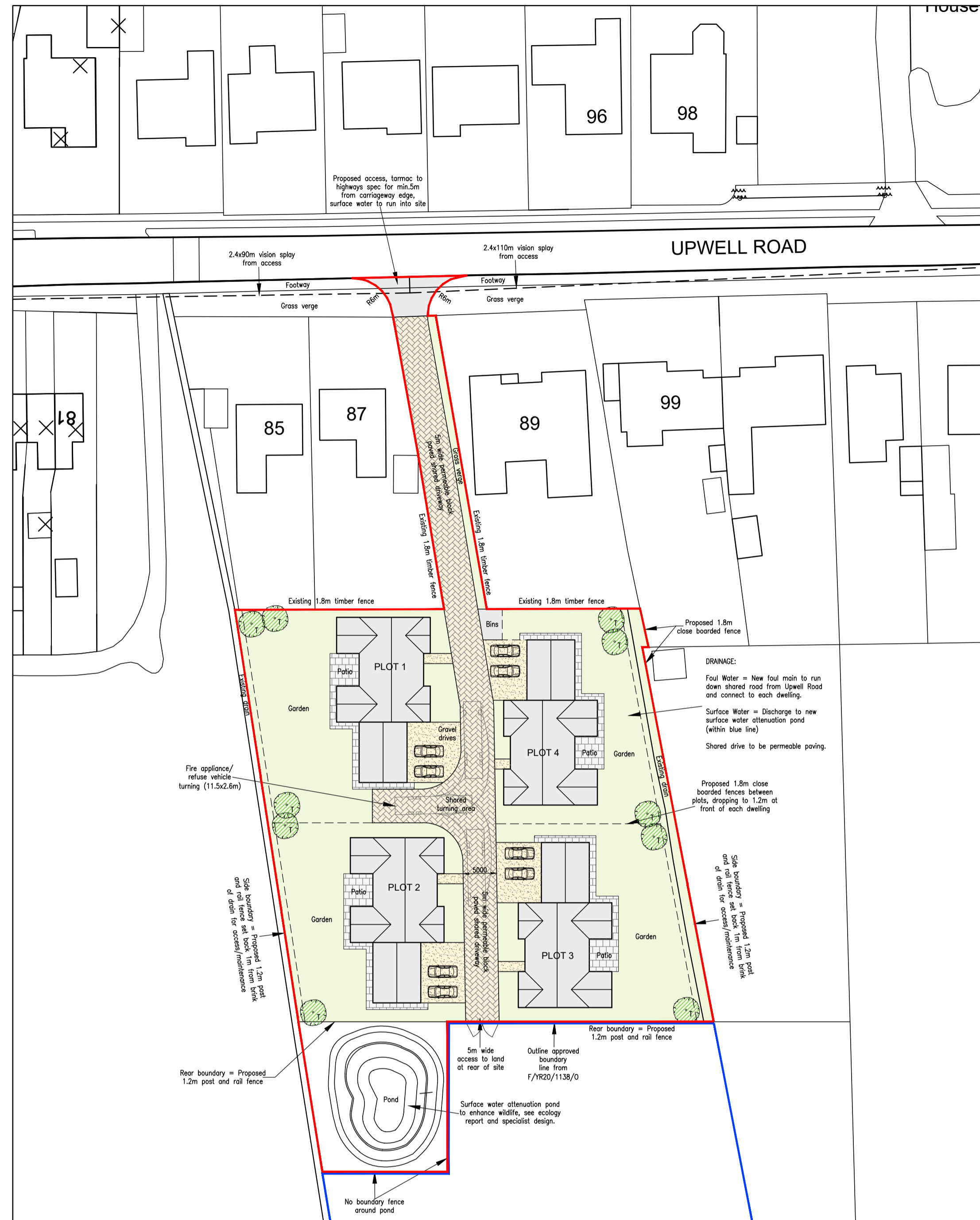
F/YR23/0556/F

Scale = 1:2,500





Existing Site Plan 1:500



Proposed Site Plan 1:500

LANDSCAPING NOTES:

Trees:

T= Small native trees.
 Tree planting from the following list will allow wildlife movement through the site for bats, birds and invertebrates.
 Sorbus Aria Whitebeam
 Gaedalia Tricoanthos Skyline
 Aesculus Cornus Brodia
 Acer Compestre
 Alnus Dulcinosa
 Betula Pendula
 Amelanchier 'Robin Hill'

All trees (as marked on plan) should be 88-10cm girth 'Standard' trees either rootballed or container grown and should be single staked with 75mm minimum diameter stake free from bark with one end pointed. Tree Pits to be 600x600 depth of rootball or container (or 150mm wider than the rootball whichever is greater) do not plant deeper than the soil mark on the stem. Break up pit base to avoid compaction. Drive 1 stake upright/vertical into bottom of excavated planting pit before planting. Saturate root ball of container grown and rootballed plants before planting. Backfill with excavated material incorporating compost of 1m³ per 3m² of soil excavated. Use Super Soft Tree Ties to fix tree to stake no spacer required. Water thoroughly immediately after planting and at intervals as necessary until trees are established. Apply 75mm bark mulch to planting surface. Fit spiral tree guard to tree base.

Shrubs:

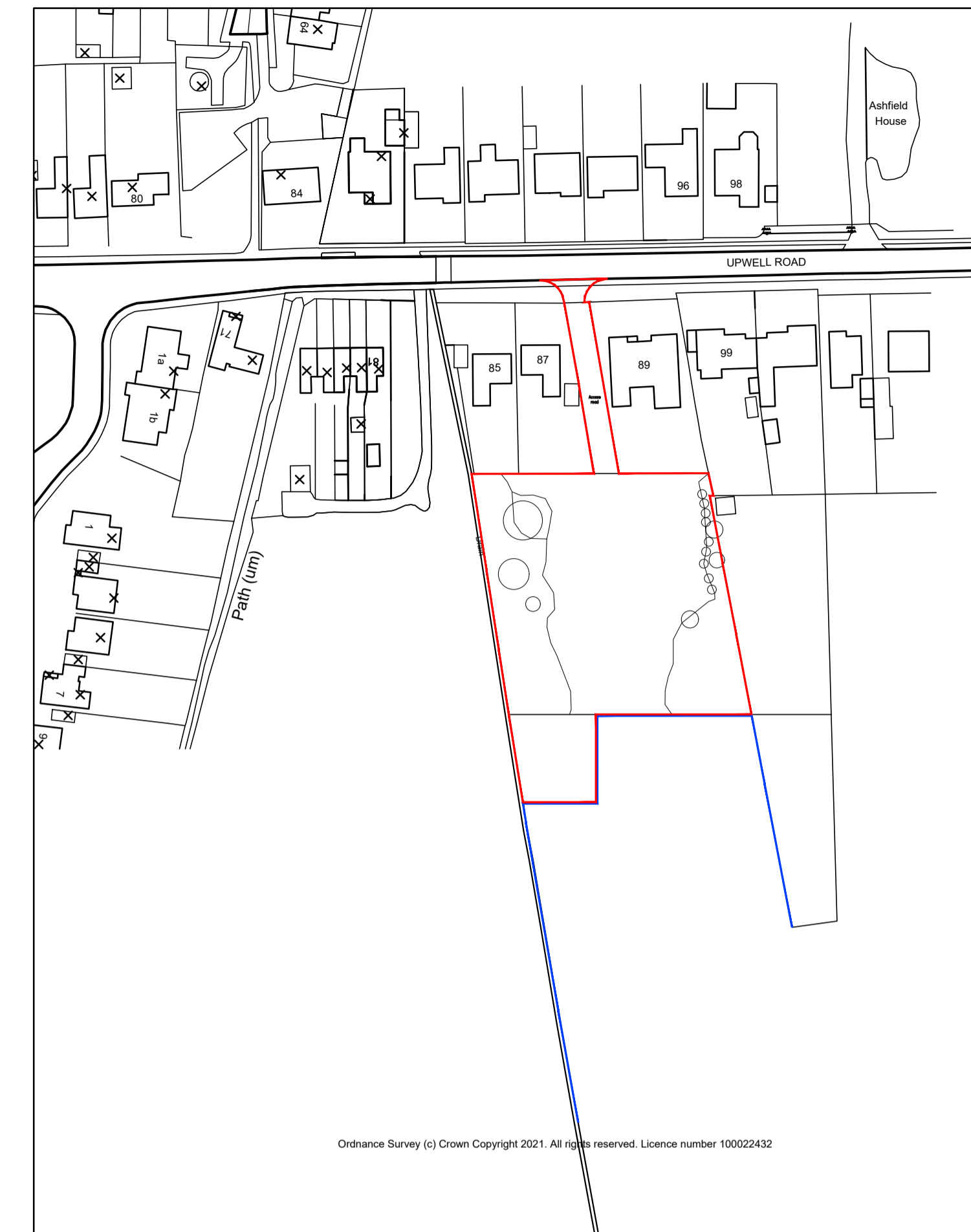
SP= Ornamental and nectar-producing planting.
 All planting (as marked on plan) should be Site pots. Cultivate and grade bed/strip to create 300mm of fine 8/8, incorporate mushroom compost at 50mm and rake to level. Dig planting holes and plant in accordance with best practice. Water in and mulch with 75mm bark chippings (as elsewhere). Water and weed as maintenance schedule. Plant at 500mm centres in groups of 3-7 plants of the same species.
 10% Cornus alba Elegansima
 10% Cornus sanguinea Midwinter Fire
 10% Cassiopeia thyrsiflora Skyline
 10% Chamaenerion
 10% Euonymus fortunei Emerald n' Gold
 10% Lonicera nidalis
 10% Dianthus v. birkheadii
 10% Phloxia fraseri
 10% Prunus laurocerasus Otto Lukyan
 10% Wisteria ovata

NOTE:

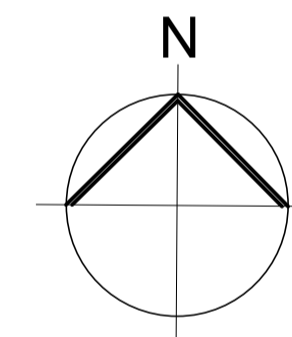
Undertake soft landscape works generally in open weather conditions, typically mild, dull and moist. Do not undertake planting seeding or turfing when the temperature is below 4°C and falling, when the ground is covered in snow, in frozen or waterlogged ground or in drought conditions.

Planting should be undertaken between November and March when the plants are dormant and planted at centres shown above. Plants should be set at the same root depth as they were at the nursery and should be well firmed in and guards fitted. Remove any damaged shoots during planting. A 75mm layer of bark mulch (Landscape Bark Modifying Mulch or equivalent) should be applied over the planting bed to reduce weed competition.

If within a period of 5 years from the date of the planting of any tree or shrub, that tree or shrub, or any tree or shrub planted in replacement for it is removed, uprooted or destroyed or dies or becomes, in the opinion of the Local Authority, seriously damaged or defective, another tree or shrub of the same species and size as that originally planted shall be planted in the same place unless the Local Authority gives written consent to any variation.



Location Plan 1:1250



A - REVISIONS



PETER HUMPHREY ASSOCIATES

ADDRESS: 2 CHAPEL ROAD, WISEBECH, CAMBS, PE13 1RG.
 TELEPHONE: 01945 466966
 E-MAIL: info@peterhumphrey.co.uk
 WEB: www.peterhumphrey.co.uk

CLIENT
 NOR-CAMBS HOMES & DEVELOPMENTS LTD

PROJECT
 PROPOSED 4No. BUNGALOWS

SITE
 LAND SOUTH OF 85-89
 UPWELL ROAD
 MARCH
 CAMBS
 PE15 0DA

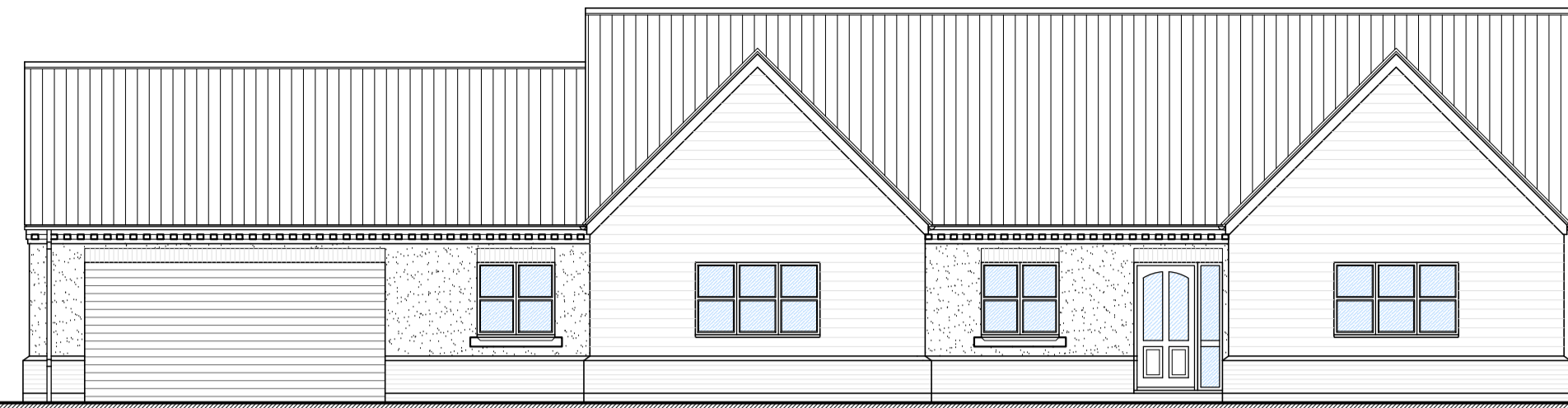
DRAWING
 PLANNING DRAWING 1

JOB NO. 6395/01P	PAPER SIZE A1	DATE FEB 2023
---------------------	------------------	------------------

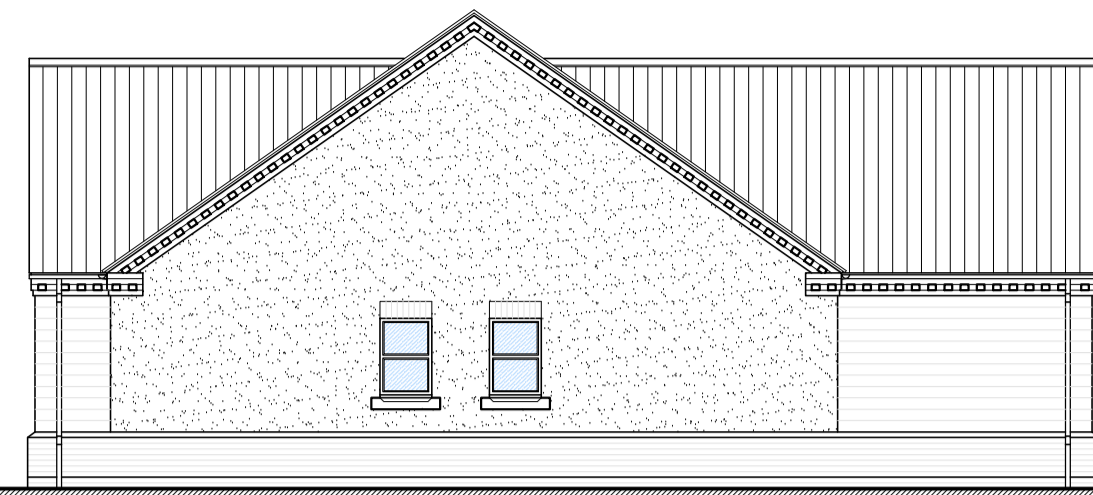
Notes:
 This drawing is the permission of Peter Humphrey Associates Ltd. and may not be reissued, loaned or copied in whole or part without written consent.

All dimensions shown on the drawing are in millimeters unless stated otherwise. If the drawing is received electronically (PDF) it is the recipient's responsibility to ensure it is printed to the correct paper size. All dimensions to be checked on site prior to commencing work and any discrepancies to be highlighted immediately.

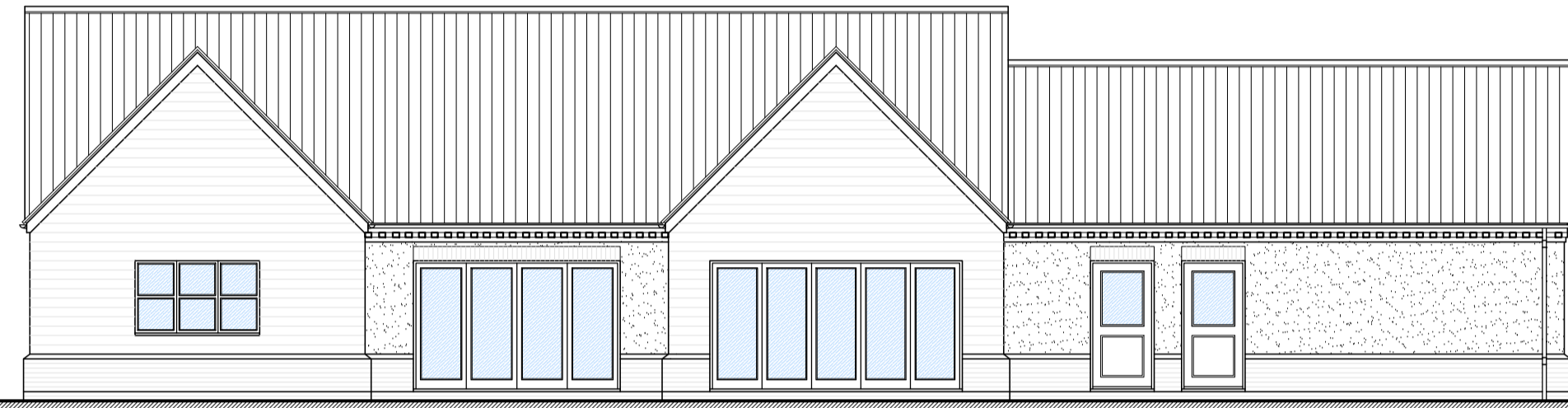
The Construction (Design and Management) Regulations 2015:
 Peter Humphrey Associates' firm of appointment with the client confirms whether the agent is appointed as 'Designer' or 'Principal Designer' under these regulations. Nevertheless, the design phase has been carried out with due consideration for the safety during construction, occupation and maintenance of the finished project. No extraordinary hazards or risks were identified outside of the routine construction operations that would not already be apparent to a competent contractor.



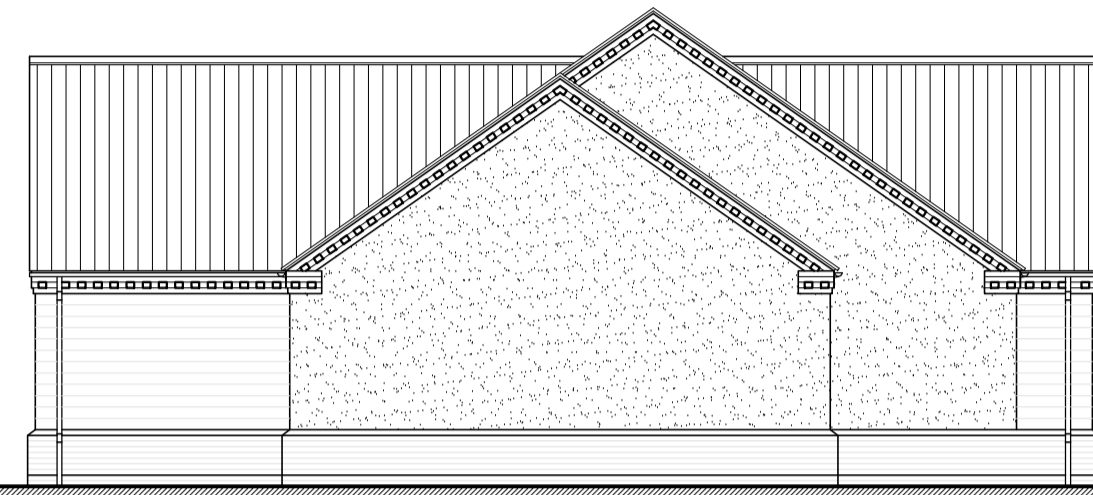
Proposed Front Elevation 1:100



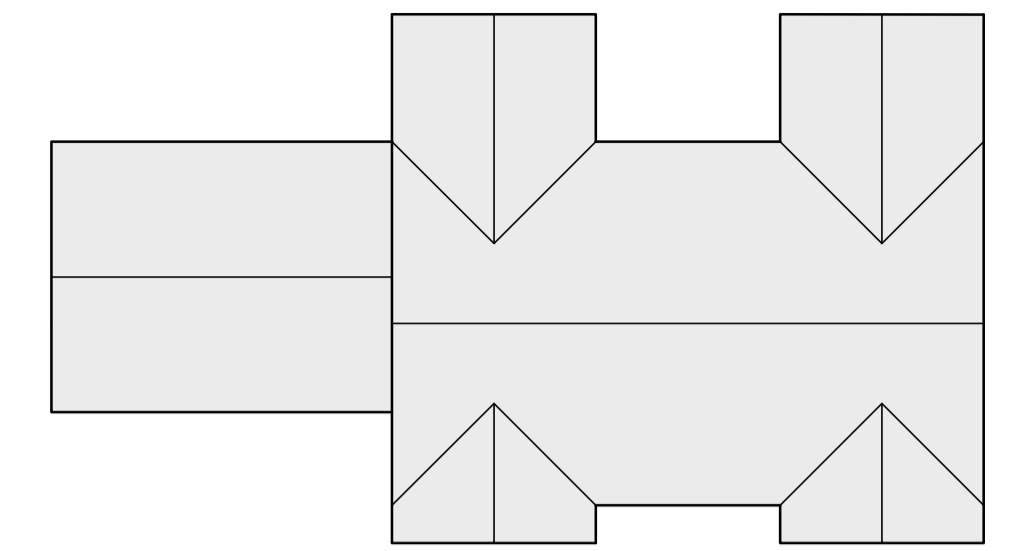
Proposed Side Elevation 1:100



Proposed Front Elevation 1:100



Proposed Side Elevation 1:100



Proposed Roof Plan 1:200

MATERIAL SCHEDULE:-

Walls:
 Mix of render and Vandersanden Flemish Antique facing bricks.
 Plot 1 & 3 = White render.
 Plot 2 & 4 = Light grey render.
 (Facing brick eaves detail & plinth, render to main building, cladding to gable projections)

Roof :
 Imerys Graphite Slate/Clay.

Windows:
 Plot 1 & 3 = Light Grey UPVC flush casement.
 Plot 2 & 4 = Dark Grey UPVC flush casement.

Rainwater goods:
 Black UPVC.



Proposed Floor Plan 1:50

A -
REVISIONS



PETER HUMPHREY ASSOCIATES

ADDRESS: 2 CHAPEL ROAD, WISBECH, CAMBS, PE13 1RG.

TELEPHONE: 01945 466966
 E-MAIL: info@peterhumphrey.co.uk
 WEB: www.peterhumphrey.co.uk

CLIENT
 NOR-CAMBS HOMES & DEVELOPMENTS LTD

PROJECT
 PROPOSED 4No. BUNGALOWS

SITE
 LAND SOUTH OF 85-89
 UPWELL ROAD
 MARCH
 CAMBS
 PE15 0DA

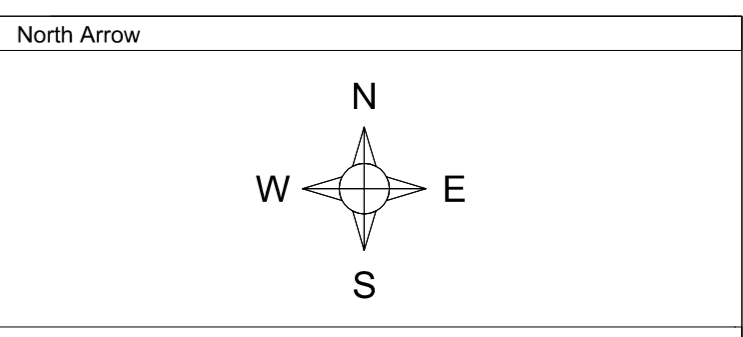
DRAWING
 PLANNING DRAWING 2

JOB NO.	PAPER SIZE	DATE
6395/02A	A1	FEB 2023

Notes:
 This drawing is the permission of Peter Humphrey Associates Ltd. and may not be reissued, loaned or copied in whole or part without written consent.

All dimensions shown on the drawing are in millimeters unless stated otherwise. If the drawing is received electronically (PDF) it is the recipient's responsibility to ensure it is printed to the correct paper size. All dimensions to be checked on site prior to commencing work and any discrepancies to be highlighted immediately.

The Construction (Design and Management) Regulations 2015:
 Peter Humphrey Associates' form of appointment with the client confirms whether the agent is appointed as 'Designer' or 'Principal Designer' under these regulations. Nevertheless, the design phase has been carried out with due consideration for the safety during construction, occupation and maintenance of the finished project. No extraordinary hazards or risks were identified outside of the routine construction operations that would not already been apparent to a competent contractor.



- NOTES**
- The contractor shall check all tie-ins for line and level with existing before commencing any works. The Engineer shall be notified immediately, in writing, should any errors be found.
 - Any discrepancies, of whatever nature, must be reported to the Engineer prior to the commencement or continuance of any further works.
 - All private drainage works to be in accordance with the requirements of Building Regulations 2010, Part H, "Drainage and waste disposal" (01st October 2013).
 - All pipes to be bedded and backfilled in accordance with Part H, Diagram 10. Shallow pipes shall be protected in accordance with Part H, Diagram 11.
 - Unless otherwise stated, all private drainage to be 100mm diameter. Gradients have been shown where there are pipe capacity issues and these should be regarded as minimums. Unless there are constraints dictating otherwise, gradients shall generally be 1 in 60. 100mm diameter pipes shall not be laid flatter than 1 in 60, 150mm diameter pipes shall not be laid flatter than 1 in 150.
 - All pipes, chambers and fittings to be installed strictly in accordance with the manufacturers instructions.
 - Pipes which run adjacent to buildings shall be installed in strict accordance with Part H, Clauses 2.23 to 2.25 and Diagram 8.
 - All private manholes, inspection chambers and drainage channels to comply with BS EN134. Cover strengths to be:
Class D400 in heavy trafficked areas (access roads, service yards etc.)
Class C250 in lightly trafficked areas (car parks, driveways etc.)
Class B125 in Non trafficked areas
Class A15 in landscaping areas
 - All drains in the vicinity of existing or proposed trees to be constructed in accordance with the requirements of NRSIP Practice Note 3.
 - Private drainage frames must be tied to manhole risers by use of manufacturers ties (e.g. Polypipe ref. FRK500 fixing kit and FRK501 black ties). The ground works contractor will be held fully responsible for any accidents due to incorrect fitting or failure to use the correct manufacturers fixing equipment.
 - All existing land drains encountered on site during construction to be re-connected.
 - Should any departure from the slab level be considered, agreement shall be sought from the Engineer immediately and prior to commencement or continuance of any works, and should take full account of all restrictions to the slab level.
 - Garage slabs relate to the finished level of the concrete at the front entrance of the garage.
 - Where a drive slopes towards a garage there is to be a 75mm ramp up to the garage slab.
 - Maximum gradients of gardens to be 1 in 6 (unless stated otherwise), except for designed banking works.
 - All dimensions in metres unless otherwise stated.
 - As underlying ground conditions may be variable across the site the Contractor shall undertake onsite porosity tests at the location and depth of each soakaway. Tests should be undertaken in accordance with BRE365 and results forwarded to the Engineers to allow verification of designs.
 - All existing services, sewers and drains indicated on this drawing and any other related drawings are shown only indicatively, and shall have their positions and level confirmed on site by the Contractor prior to commencement of any construction work. The results of the investigations shall be confirmed to MTC Engineering (Cambridge) Ltd so that the design can be verified.

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

D	19.06.23	AMENDED POND TO CEMP	A.Y
C	12.05.23	REVISED TO SUIT TARMAC MAIN ACCESS	A.Y
B	12.04.23	REVISED TO NEW LAYOUT	A.Y
A	13.12.22	PLOT 6 GARAGE REDUCED FFL	JTC
REV	DATE	DESCRIPTION/REASON FOR ISSUE	APPR



ENGINEERING
MTC Engineering (Cambridge) Ltd.
Ground Floor, 24 High Street
Whittlesford, Cambridgeshire, CB22 4LT
Tel (01223) 837270, fax (01223) 835648
E-mail office@mtcengineering.co.uk

PROJECT 85-89 Upwell Road
March, Cambridgeshire

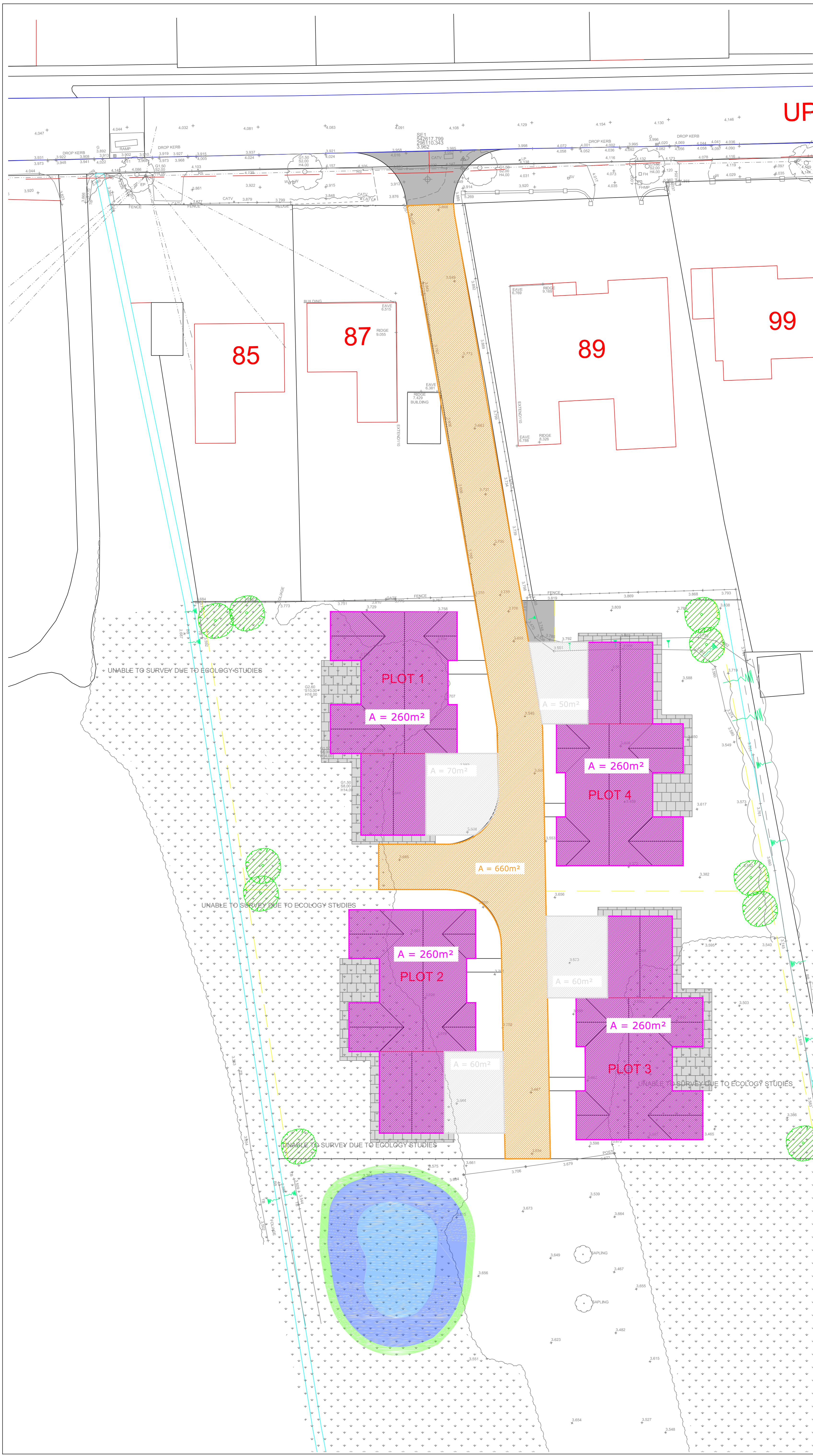
TITLE Proposed External Levels

ORIG JTC **DATE** 06.09.2022

CHKD **SCALE** 1/200 @ A1

APPR **DRAWING NO** 2931-05 **REV D**

This drawing and the works depicted are the copyright of MTC Engineering (Cambridge) Ltd and may not be reproduced or amended except by written permission. No liability will be accepted for amendments made by other persons.



North Arrow

Drain Areas

- Roof Area = 1040m²
- Shared Access Area = 615m²
- Private Driveways Area = 240m²

Total Drain Area = 1895m²

REV	DATE	DESCRIPTION/REASON FOR ISSUE	APPR
B	20.06.23	REVISED POND TO CEMP	A.Y
A	12.05.23	REVISED SCALE & MAIN ACCESS DRAIN AREA	A.Y

MTC
ENGINEERING

MTC Engineering (Cambridge) Ltd.
Ground Floor, 24 High Street
Whittlesford, Cambridgeshire, CB22 4LT
Tel (01223) 837270, fax (01223) 835648
E-mail office@mtcengineering.co.uk

TITLE

**85-89 UPWELL ROAD,
MARCH,
PROPOSED DRAIN AREAS**

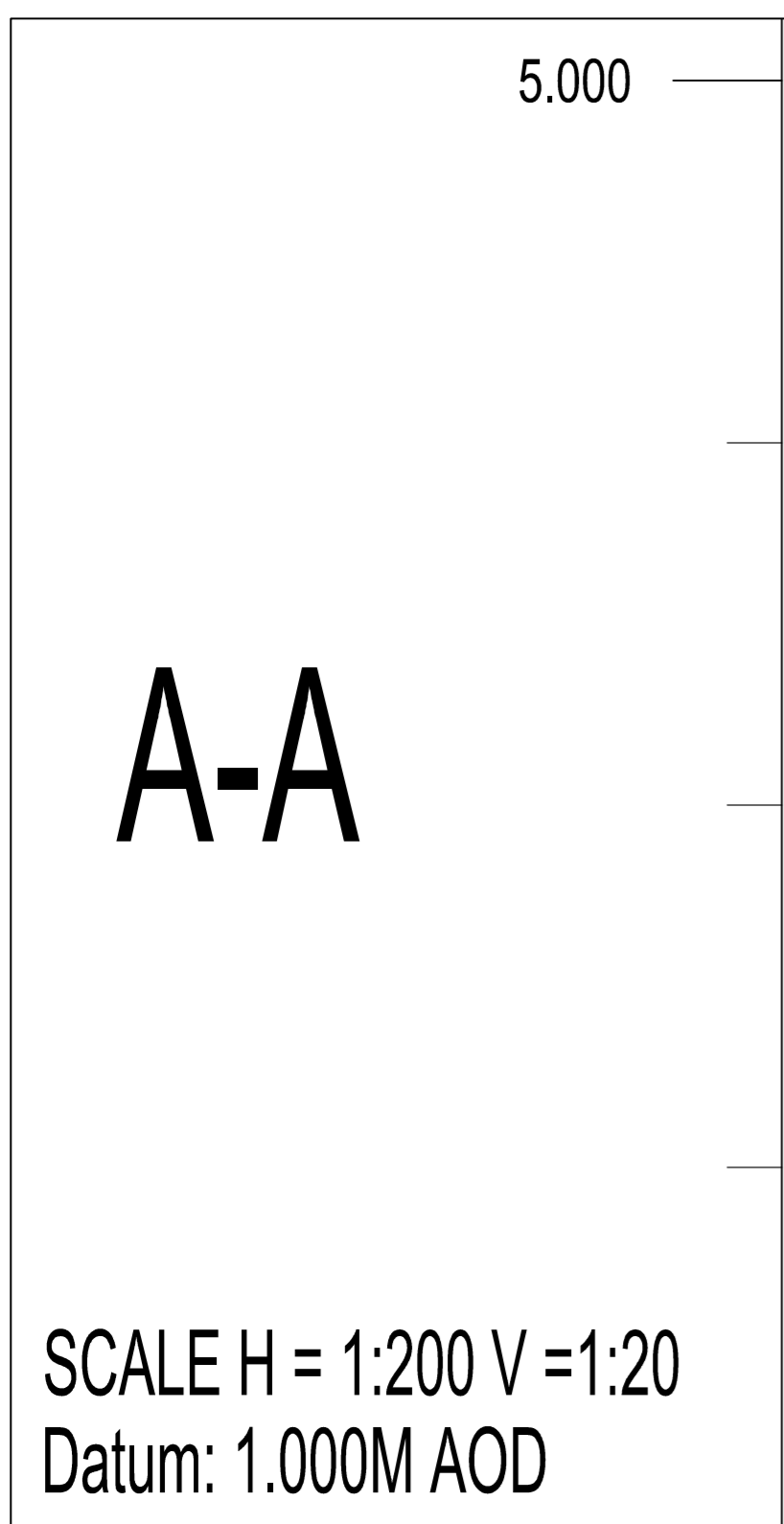
ORIG	DATE
A.Y	11.04.23

CHKD	SCALE
	1:200

APPR	DRAWING NO
	2931-06

REV B

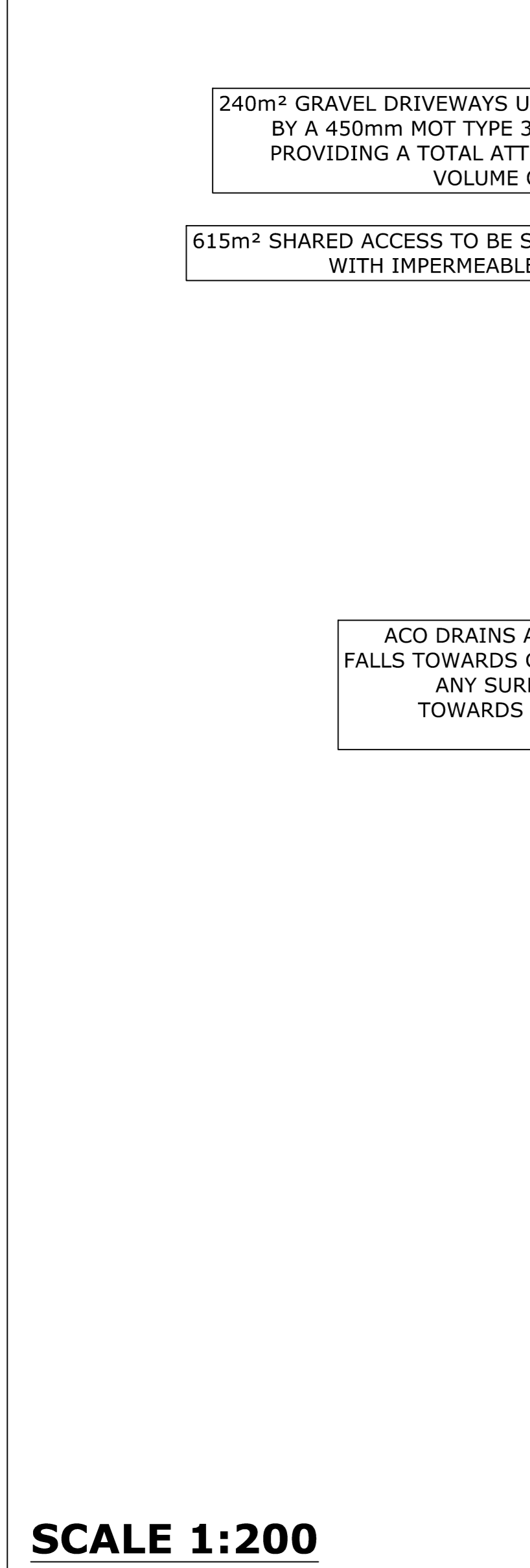
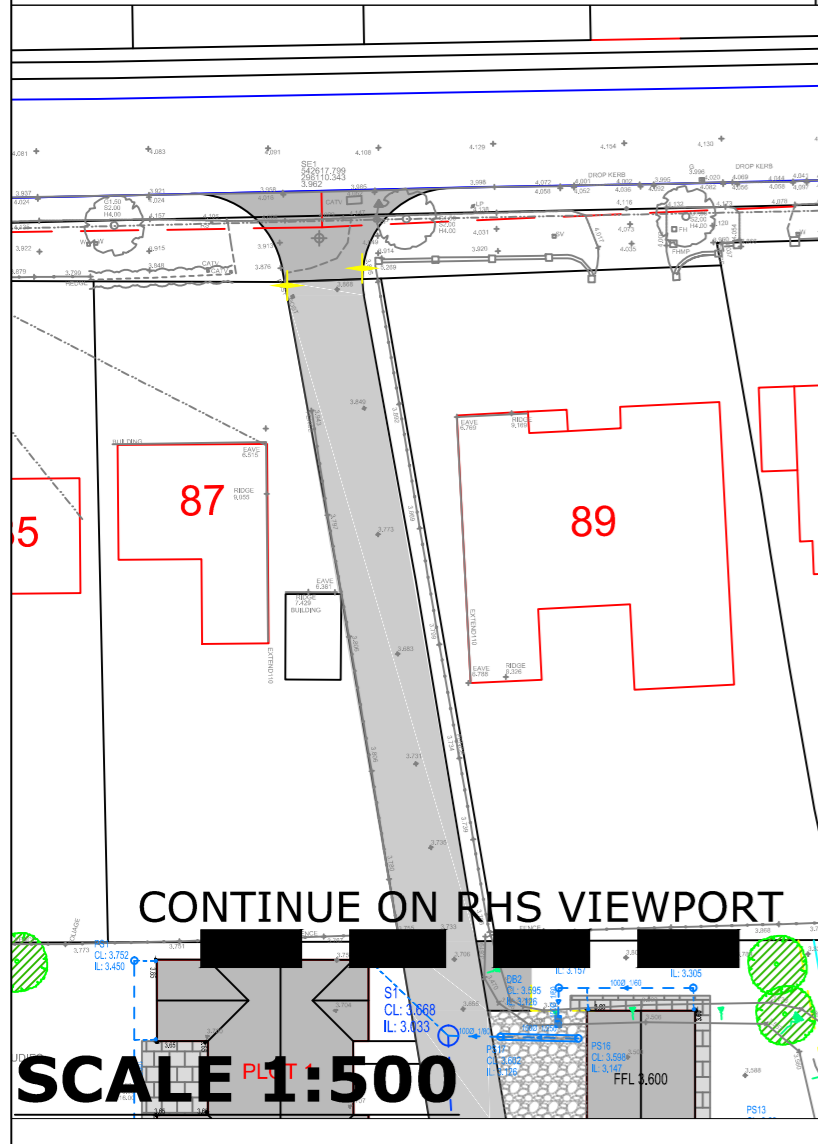
This drawing and the works depicted are the copyright of MTC Engineering (Cambridge) Ltd and may not be reproduced or amended except by written permission. No liability will be accepted for amendments made by other persons.



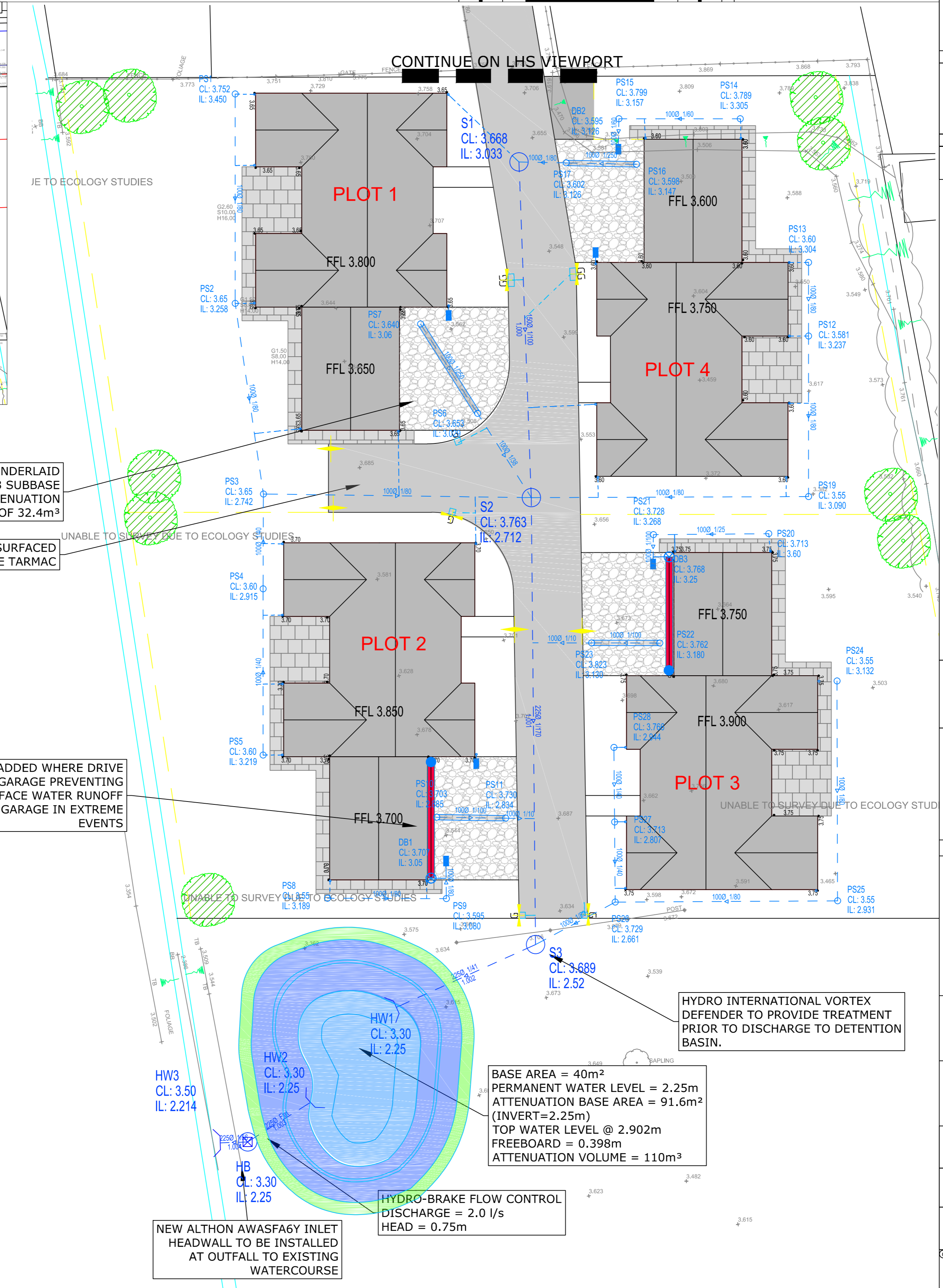
SCALE H = 1:200 V = 1:20
Datum: 1.000M AOD

EXISTING CHAINAGE (m)	0.000	3.921	4.927	6.175	12.230	14.609	19.192
EXISTING LEVELS (m)	3.449	3.399	3.388	3.591	3.561	3.527	
Final Surface (m)	3.578	3.200	1.250	1.250	1.250	1.250	1.250
Proposed Surface Slopes (1:X)		3	6	3	2		2
							3
							6
							3

■ = FLAT



EXISTING CHAINAGE (m)	0.000	3.921	4.927	6.175	12.230	14.609	19.192
EXISTING LEVELS (m)	3.449	3.399	3.388	3.591	3.561	3.527	
Final Surface (m)	3.578	3.200	1.250	1.250	1.250	1.250	1.250
Proposed Surface Slopes (1:X)		3	6	3	2		2
							3
							6
							3



North Arrow

NOTES

- The contractor shall check all tie-ins for line and level with existing before commencing any works. The Engineer shall be notified immediately, in writing, should any errors be found.
- Any discrepancies, of whatever nature, must be reported to the Engineer prior to the commencement or continuation of any further works.
- All private drainage works to be in accordance with the requirements of Building Regulations 2010, Part H, "Drainage and waste disposal" (01st October 2015).
- All pipes to be bedded and backfilled in accordance with Part H, Diagram 10. Shallow pipes shall be protected in accordance with Part H, Diagram 11.
- Unless otherwise stated, all private drainage to be 100mm diameter. Gradients have been shown where there are pipe capacity issues and these should be regarded as minimums. Unless there are constraints dictating otherwise, gradients shall generally be 1 in 60. 100mm diameter pipes shall not be laid flatter than 1 in 80, 150mm diameter pipes shall not be laid flatter than 1 in 150.
- All pipes, chambers and fittings to be installed strictly in accordance with the manufacturers instructions.
- Pipes which run adjacent to buildings shall be installed in strict accordance with Part H, Clauses 2.23 to 2.25 and Diagram 8.
- All private manholes, inspection chambers and drainage channels to comply with BS EN124. Cover strengths to be:
 - Class D400 in heavy trafficked areas (access roads, service yards etc.)
 - Class C250 in lightly trafficked areas (car parks, driveways etc)
 - Class B125 in non trafficked areas
 - Class A15 in landscaping areas
- All drains in the vicinity of existing or proposed trees to be constructed in accordance with the requirements of BS EN124 Practice Note 3.
- Private drainage frames must be used to manhole risers by use of manufacturers ties (e.g. Polyprop ref: FR500 fixing kit and FR501 black ties). The ground works contractor will be held fully responsible for any accidents due to incorrect fitting or failure to use the correct manufacturers fixing equipment.
- All existing land drains encountered on site during construction to be re-connected.
- Should any departure from the slab level be considered, agreement shall be sought from the Engineer immediately and prior to commencement or continuation of any works, and should take full account of all restrictions to the slab level.
- Garage slabs relate to the finished level of the concrete at the front entrance of the garage.
- Where a drive steps towards a garage there is to be a 75mm ramp up to the garage slab.
- Maximum gradients of gardens to be 1 in 6 (unless stated otherwise), except for designed banking works.
- All dimensions in metres unless otherwise stated.
- As underlying ground conditions may be variable across the site the Contractor shall undertake onsite percolation tests at the location and depth of each soakaway. Tests should be undertaken in accordance with BRE365 and results forwarded to the Engineer to allow verification of designs.
- All existing services, sewers and drains indicated on this drawing and any other related drawings are shown only indicatively, and shall have their positions and level confirmed on site by the Contractor prior to commencement of any construction work. The results of the investigations shall be confirmed to MTC Engineering (Cambridge) Ltd so that the design can be verified.
- The invert levels of all existing sewers, drains, ditches, tanks or other features and apparatus where a new connection is to be made shall have their precise position and level confirmed on site by the Contractor prior to commencement of any construction work. The results of the investigations shall be confirmed to MTC Engineering (Cambridge) Ltd so that the design can be verified.

Private Drainage Key

- Foul Inspection Chamber (Depth <0.6m [1 side connection])
- Foul Inspection Chamber (Depth <1.2m [2 side connections])
- Foul BR manhole PCC Ring (1.2-1.5m)
- Foul BR manhole PCC Ring (1.50-2.7m)
- Storm Inspection Chamber (Depth <0.6m [1 side connection])
- Storm Inspection Chamber (Depth <1.2m [2 side connections])
- Storm BR manhole PCC Ring (1.2-1.5m)
- Storm BR manhole PCC Ring (1.50-2.7m)
- Backdrop on SW Chamber
- Backdrop on FW Chamber
- Rodding eye with Invert Level
- Filter Drain
- ACO channel or similar with gully and rodding point.
- Gully
- Road Gully
- Low Point
- High Point
- FFL Level
- Bullnosed dropped kerb

Adoptable Sewer Key

- Foul sewer with pipe dia. & gradient incl. adoptable FWWH with reference & Invert.
- Storm sewer with pipe dia. & gradient incl. adoptable SWWH with reference & Invert.

Surface Water Attenuation

- Permeable Gravel Driveway

ANGLIAN WATER NOTES

ALL SECTION 104 ADOPTABLE DRAINAGE SHALL CONFORM TO THE DESIGN AND CONSTRUCTION GUIDE (DCG) FOR DEVELOPERS' SEWERAGE SECTOR GUIDANCE APPENDIX C, MARCH 2020 CURRENT AT THE TIME OF EXECUTION.

ALL COVERS AND FRAMES ON ADOPTABLE AW SEWERS ARE TO BE D400, KITEMARKED AND BE BADGED 'FW' OR 'SW' ACCORDINGLY. SUPPLIERS SHALL BE STANTON, PAUL SAVAGE, WORNING OR WREXHAM.

ADOPTABLE PIPEWORK SHALL BE TO THE FOLLOWING SPECIFICATION:

- CLAYWARE: BS EN 295-1:1991 #150 DIA. CRUSHING STRENGTH 34kN/M #225 DIA. CLASS 160
- CONCRETE: BS EN 591-1:2002 #300 DIA. CLASS 120
- PLASTIC: BS EN 13476-1
 - FIBRE REINFORCED POLYMER (FRP)
 - HOPE TWIN WALL PIPEWORK S/N
 - POLYPROPYLENE POLYSEWER (#150 - #300mm)
 - POLYPROPYLENE RIDGESTOR#-XL (#750 - #900mm)
 - POLYPROPYLENE RIDGESTOR#-XL (#750 - #900mm)
 - WHOLATE APPROVED PIPEWORK

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH "MTC STANDARD DETAIL 1: ADOPTABLE DRAINAGE CONSTRUCTION DETAILS (DCG APPENDIX C 2020)".

SOAKAWAY PROTECTION:
Please ensure that during the construction phase all soakaways, gullies and gully laterals are protected from the ingress of silt or grit from the site. Placing a fine heavy duty geotextile under the gully grating, between it and the frame should suffice.

NOTE:
At the location of the proposed lateral connection the contractor shall establish the position and depth of any existing services to prevent any clash in level and abortive costs.

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

C	19.06.23	AMENDED POND TO CEMP	A.Y
B	12.05.23	REVISED TO CLIENT REQUIREMENTS	A.Y
A	12.04.23	REVISED TO NEW LAYOUT	A.Y
REV	DATE	DESCRIPTION/REASON FOR ISSUE	APPR

MTC
ENGINEERING
MTC Engineering (Cambridge) Ltd.
Ground Floor, 24 High Street
Whittlesford, Cambridgeshire, CB22 4LT
Tel (01223) 837270, fax (01223) 835648
E-mail office@mtcengineering.co.uk

PROJECT 85-89 Upwell Road
March, Cambridgeshire

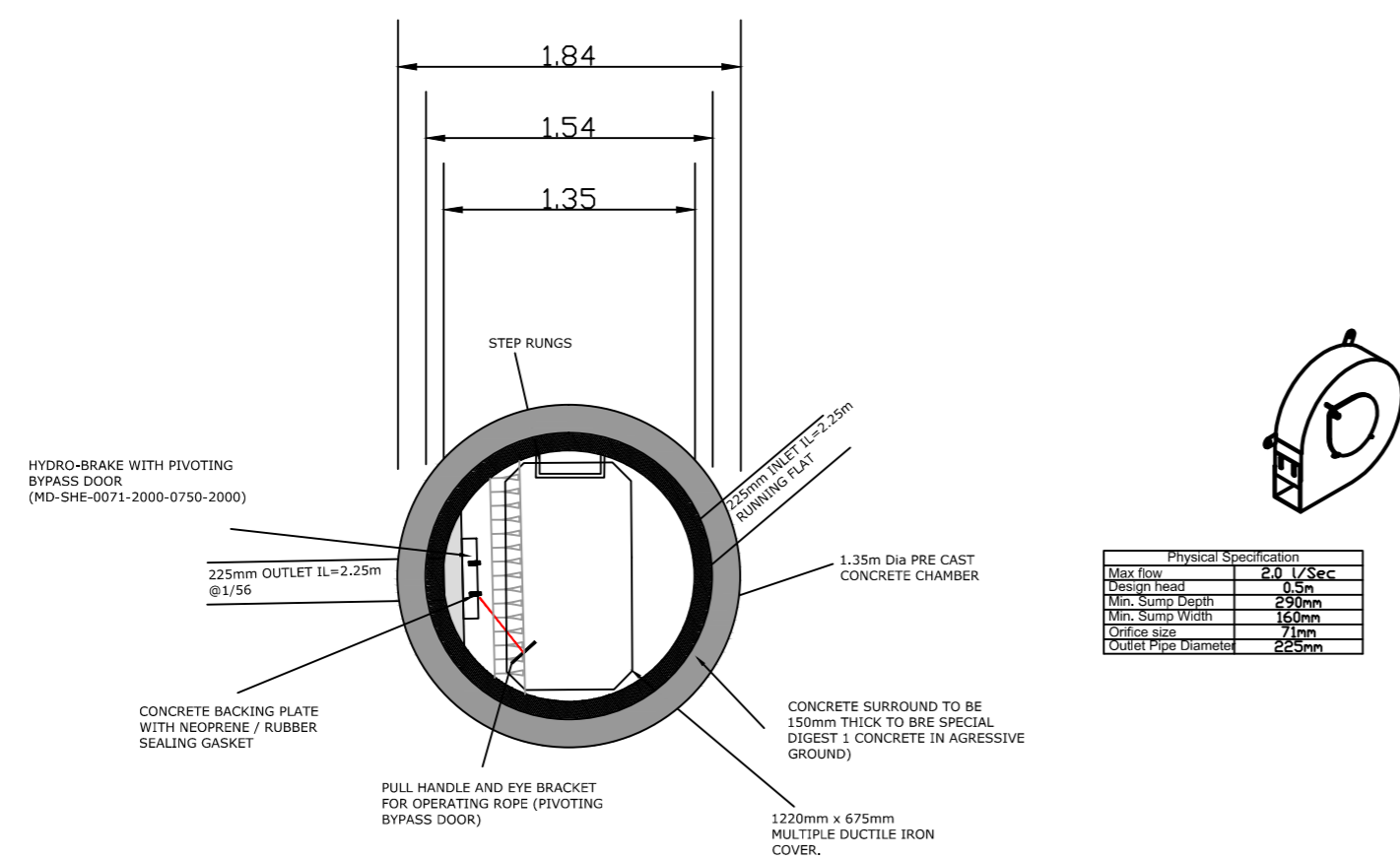
TITLE Proposed Drainage Layout

ORIG	JTC	DATE	06.09.2022
CHKD		SCALE	AS SHOWN @A1
APPR		DRAWING NO	2931-02
		REV	C

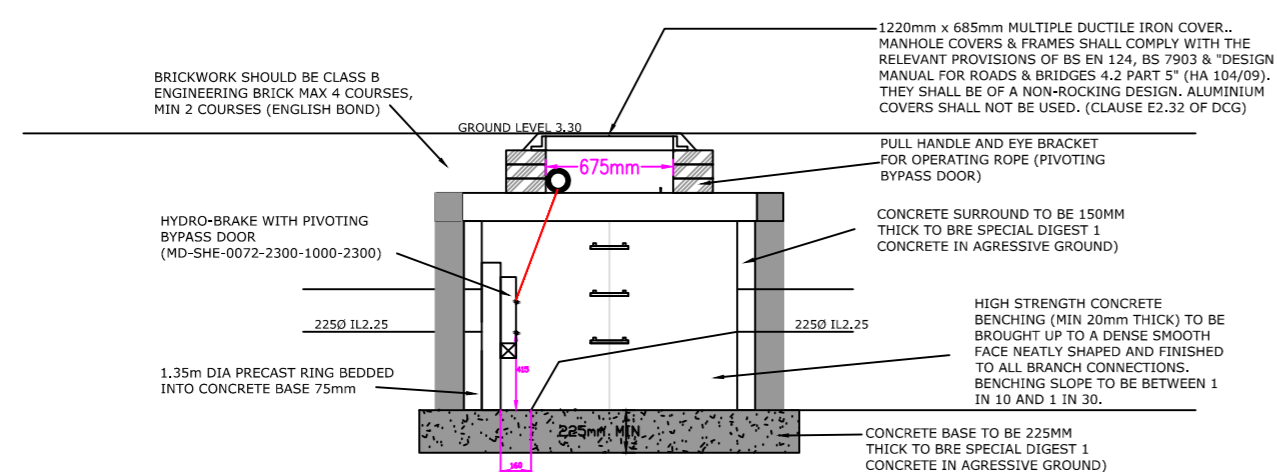
© This drawing and the works depicted are the copyright of MTC Engineering (Cambridge) Ltd and may not be reproduced or amended except by written permission. No liability will be accepted for omissions made by other persons.

SCALE 1:200

HYDRO BRAKE MH HB DETAIL SCALE 1:20 / SHE-0071-2000-0750-2000



PLAN VIEW



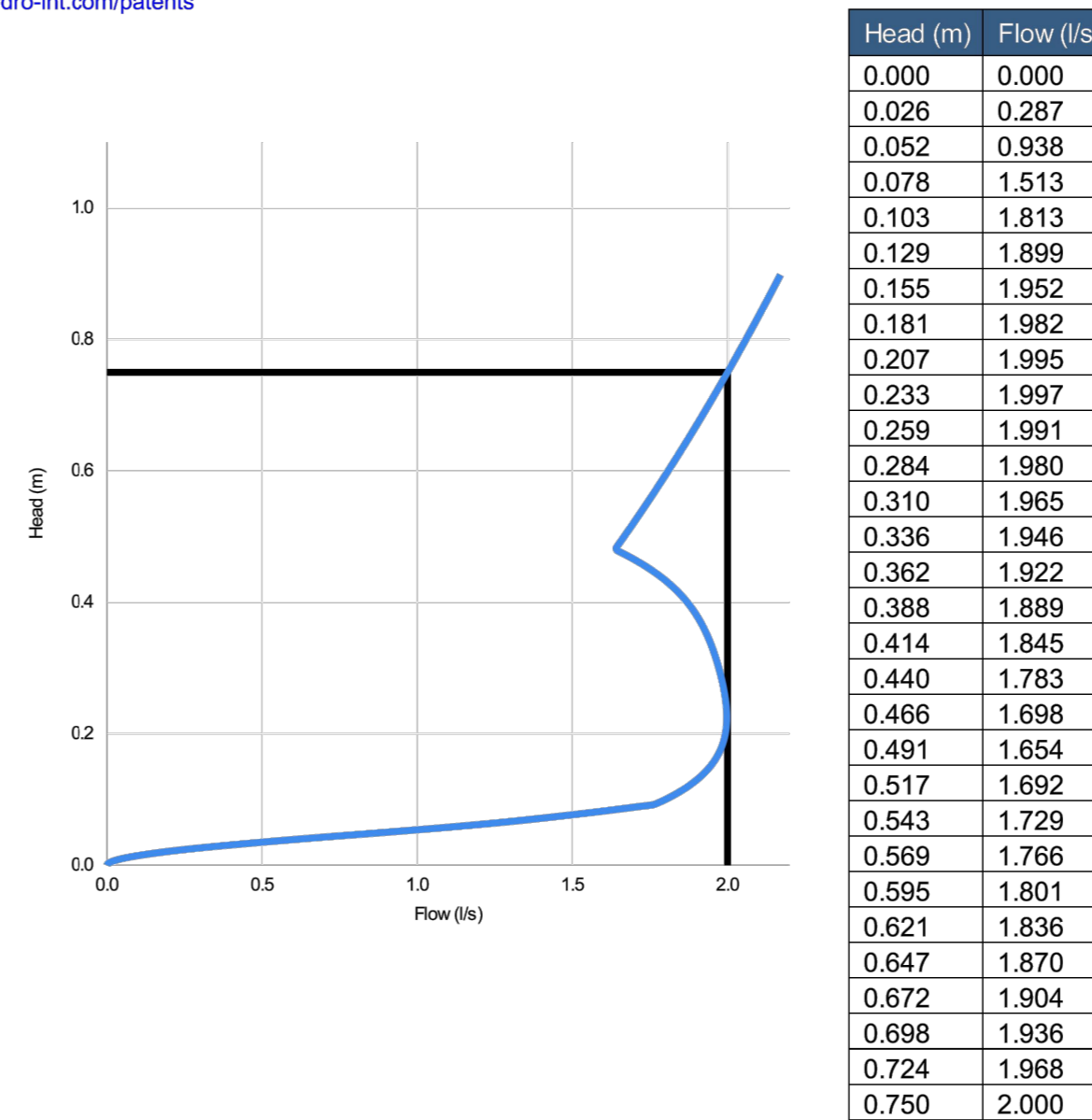
SIDE VIEW

Physical Specification	
Max flow	2.0 l/Sec
Design head	0.75m
Min. Sump Depth	250mm
Min. Sump Width	160mm
Outlet size	75mm
Outlet Pipe Diameter	225mm

Technical Specification		
Control Point	Head (m)	Flow (l/s)
Primary Design	0.750	2.000
Flush-Flo	0.225	1.998
Kick-Flo®	0.480	1.636
Mean Flow		1.745



hydro-int.com/patents



DESIGN ADVICE The head/flow characteristics of this SHE-0071-2000-0750-2000 Hydro-Brake Optimum® Flow Control are unique. Dynamic hydraulic modelling evaluates the full head/flow characteristic curve.

! The use of any other flow control will invalidate any design based on this data and could constitute a flood risk.



DATE	19/06/2023 13:55	SHE-0071-2000-0750-2000
Site	Upwell Road, march	
DESIGNER	Abdul Latif Yehia	Hydro-Brake Optimum®
Ref	2931	

© 2018 Hydro International, Rivermead Court, Kern Business Park, Windmill Road, Kern, Clevedon, BS21 6FT. Tel 01275 878371 Fax 01275 874879 Web www.hydro-int.com Email designtools@hydro-int.com

PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION/REASON FOR ISSUE	APPR
A	19.06.23	AMENDED HB PER POND DESIGN	A.Y



MTC Engineering (Cambridge) Ltd.
Ground Floor, 24 High Street
Whittlesford, Cambridgeshire, CB22 4LT
Tel (01223) 837270, fax (01223) 835648
E-mail office@mtcengineering.co.uk

PROJECT
**85-89 Upwell Road
March, Cambridgeshire**

TITLE
Flow Device Details

ORIG	JTC	DATE	06.09.2022
CHKD		SCALE	1/25 @ A2
APPR		DRAWING NO	2931-04
			REV A

This drawing and the works depicted are the copyright of MTC Engineering (Cambridge) Ltd and may not be reproduced or amended except by written permission. No liability will be accepted for amendments made by other persons.